


does not operate shut-off valves to the water meter or house. As a result, plumbing supply, drain waste and vent lines, traps, pumps, fixtures, and some appliances such as water heaters was fully evaluated. The water pressure was determined. Recommend that a qualified person make a full evaluation of the plumbing system. Areas below the house should be evaluated after plumbing has been operated to check for leaks. Any problems that are found after this evaluation should be repaired by a qualified plumber.

2)  Evidence of rodent infestation was found in the form of dead rodents and/or damaged insulation in the attic. Consult with the property owner about this. A qualified person should make repairs to seal openings in the structure, set traps, and clean rodent waste as necessary. Recommend following guidelines in these Center for Disease Control articles:

<http://www.reporthost.com/?SEALUP>

<http://www.reporthost.com/?TRAPUP>

<http://www.reporthost.com/?CLEANUP>



Photo 2-1



Photo 2-2



Photo 2-3



3)   The natural gas service was turned on during the inspection. The inspector operates only "normal" controls such as thermostats, stove burner knobs, and on/off switches, and does not operate gas shut-off valves or activate pilot lights. As a result, items such as but not limited to the gas supply system, gas-fired water heater(s), gas-fired forced air furnace(s), gas fireplace(s), stove(s), and range(s) were fully evaluated. The inspector was able to test for gas leaks. Any problems that are found after this evaluation should be repaired by a qualified contractor.



Photo 3-1
 Display not functional
 Recommend that a qualified person repair as necessary!




Photo 3-2



Photo 3-3



Photo 3-4

4)  Electricity was available during the inspection. The inspector operates only "normal controls" such as switches or knobs, and does not reset or turn on circuit breakers or remove or install fuses. As a result, branch circuit wiring, receptacles, fixtures such as lights and fans, switches, ground fault circuit interrupter (GFCI) devices, arc fault circuit interrupter (AFCI) devices, and some appliances such as electrically powered water heaters, forced air furnaces, heat pumps, air conditioning units, and kitchen appliances were fully evaluated. Any problems that are found after this evaluation should be repaired by a qualified contractor.

Grounds

Limitations: Unless specifically included in the inspection, the following items and any related equipment, controls, electric systems and/or plumbing systems are excluded from this inspection: detached buildings or structures; fences and gates; retaining walls; underground drainage systems, catch basins or concealed sump pumps; swimming pools and related safety equipment, spas, hot tubs or saunas;

whether deck, balcony and/or stair membranes are watertight; trees, landscaping, properties of soil, soil stability, erosion and erosion control; ponds, water features, irrigation or yard sprinkler systems; sport courts, playground, recreation or leisure equipment; areas below the exterior structures with less than 3 feet of vertical clearance; invisible fencing; sea walls, docks and boathouses; retractable awnings. Any comments made regarding these items are as a courtesy only.

Condition of stairs, handrails and guardrails:

Exterior stair material: Wood


5)  Risers for stairs at one or more locations were higher than 7 3/4 inches and posed a fall or trip hazard. Risers should be 7 3/4 inches or shorter. At a minimum, be aware of this hazard, especially when guests who are not familiar with the stairs are present. Recommend that a qualified contractor repair per standard building practices.



Photo 5-1
Needed repairs noted in this report should be brought to the attention of the contractor!



Photo 5-2
Rail loose needs to be repaired
Recommend that a qualified person repair as necessary


6)  Guardrails at one or more locations with drop-offs higher than 30 inches were loose, wobbly and/or damaged, and pose a fall hazard. Recommend that a qualified person repair guardrails as necessary.



Photo 6-1



Photo 6-2
Need repair!

Exterior and Foundation

Limitations: The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this

inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

Wall inspection method: Viewed from ground

Condition of wall exterior covering: Required repairs, replacement and/or evaluation (see comments below)


- 7)  One or more large trees were very close to the foundation. Tree roots can cause significant structural damage to foundations, or may have already caused damage (see other comments in this report). Recommend that a qualified tree service contractor or certified arborist remove trees as necessary to prevent damage to foundations.



Photo 7-1



Photo 7-2

Needed repairs noted in this report should be brought to the attention of the contractor!


- 8)  Some nail heads at the composition wood siding were protruding from the wood, or had been nailed in so as to break the surface of the siding, and caulk was missing. Most manufacturers of composition wood siding specify that nail heads should be flush with the surface, and that the surface of the siding should not be broken. If broken, then caulk should be applied to the nail heads to prevent water penetration and subsequent deterioration of the siding. Recommend that a qualified person repair per the siding manufacturer's specifications.



Photo 8-1



Photo 8-2



Photo 8-3


9)  Vegetation such as trees, shrubs and/or vines was in contact with or close to the building exterior. Vegetation can serve as a pathway for wood-destroying insects and can retain moisture against the exterior after it rains. This is a conducive condition for wood-destroying organisms. Recommend pruning, moving or removing vegetation as necessary to maintain at least 6 inches of space between it and the building exterior. A 1-foot clearance is better.



Photo 9-1



Photo 9-2



Photo 9-3


10)  Trees were in contact with or were close to the building at one or more locations. Damage to the building can occur, especially during high winds, or may have already occurred (see other comments in this report). Recommend that a qualified tree service contractor or certified arborist remove trees as necessary to prevent damage to the building exterior.



Photo 10-1

Hanging over drive way needed repairs noted in this report should be brought to the attention of the contractor .


Roof

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain, melting snow) would be needed to do so. Occupants should monitor the condition of roofing materials in the future. For older roofs, recommend that a professional inspect the roof surface, flashings, appurtenances, etc. annually and maintain/repair as might be required. If needed, the roofer should enter attic space(s). Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions perform adequately or are leak-free.

Roof inspection method: Drone

Condition of roof surface material: Appeared serviceable, Required repair, replacement and/or evaluation (see comments below)

Roof surface material: Asphalt or fiberglass composition shingles

11)  Flashings at the base of one or more chimneys were . Leaks can occur as a result. This is a conducive condition for wood-destroying organisms. Recommend that a qualified contractor evaluate and repair as necessary.


12)  Significant amounts of debris have accumulated in one or more gutters or downspouts. Gutters can overflow and cause water to come in contact with the building exterior, or water can accumulate around the foundation. This is a conducive condition for wood-destroying organisms. Recommend cleaning gutters and downspouts now and as necessary in the future.



Photo 12-1



Photo 12-2



Photo 12-3



Photo 12-4


13)  Significant amounts of debris such as leaves, needles, seeds, etc. have accumulated on the roof surface. Water may not flow easily off the roof, and can enter gaps in the roof surface. Leaks can occur as a result. This is a conducive condition for wood-destroying organisms. Recommend cleaning debris from the roof surface now and as necessary in the future.



Photo 13-1

14)



Photo 14-1



Photo 14-2



Photo 14-3



Photo 14-4
Required repair, replacement and/or evaluation



Photo 14-5



Photo 14-6

15)



Photo 15-1

16)



Photo 16-1



Photo 16-2

Attic and Roof Structure

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

Attic inspection method: Viewed from hatch(es)

Condition of roof structure: Appeared serviceable

Roof structure type: Trusses

Ceiling structure: Ceiling joists

Condition of insulation in attic (ceiling, skylight chase, etc.): Required repair, replacement and/or evaluation (see comments below)

Ceiling insulation material: Fiberglass loose fill

Approximate attic insulation R value (may vary in areas): R-25

Roof ventilation type: Ridge vent(s)



17)  The ceiling insulation installed in the attic was substandard and appeared to have an R rating that's significantly less than current standards (R-38). Heating and cooling costs will likely be higher due to poor energy efficiency. Recommend that a qualified contractor install insulation for better energy efficiency and per standard building practices.



Photo 17-1

18)  One or more attic or roof vent screens were clogged with paint. This can reduce air flow through the roof structure or attic and result in reduced service life for the roof surface materials because of high temperatures. Moisture from condensation is also likely to accumulate in the roof structure and/or attic. Recommend that a qualified person repair as necessary so air flows freely through all vents. For example, by cleaning screens or replacing screens with 1/8-inch to 1/4-inch wire mesh.

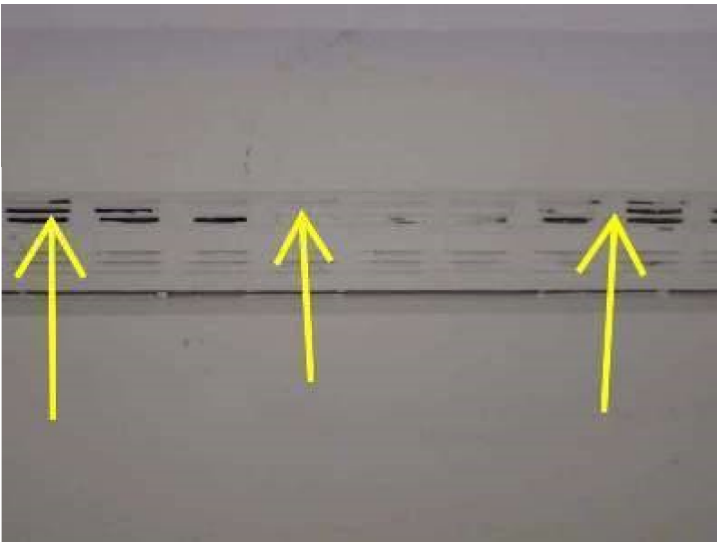



Photo 18-1



Photo 18-2

19)  One or more attic access hatches or doors were not insulated, or had substandard insulation. Recommend installing insulation as necessary and per current standards at hatches or doors for better energy efficiency. For more information, visit:

<http://www.reporhost.com/?ATTACC>



Photo 19-1

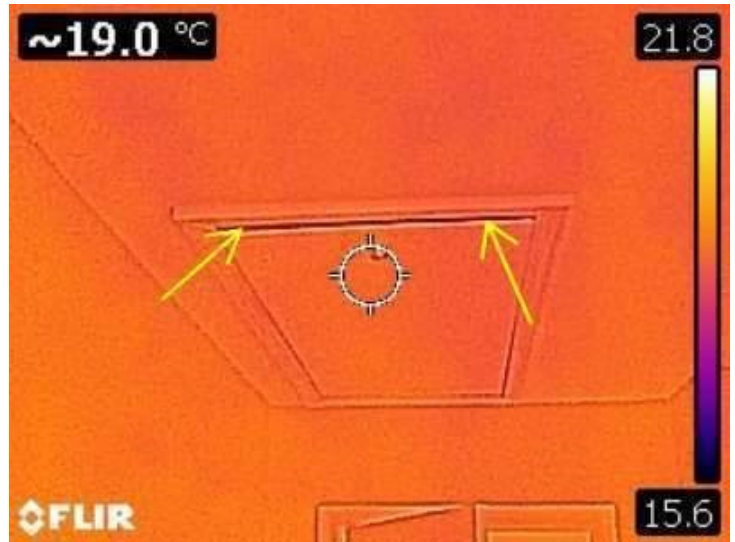



Photo 19-2

Attic access hatches does not seal properly

- 20)  The ceiling insulation in one or more areas of the attic was compacted or uneven. Heating and cooling costs may be higher due to reduced energy efficiency. Recommend that a qualified person repair, replace or install insulation as necessary and per standard building practices (typically R-38).

Garage or Carport

Limitations: The inspector does not determine the adequacy of firewall ratings. Requirements for ventilation in garages vary between municipalities.



Type: Attached

Condition of door between garage and house:

Condition of garage vehicle door(s): Appeared serviceable

Type of garage vehicle door: Sectional

Number of vehicle doors: 2

- 21)   The door between the garage and the house did not appear to be fire resistant, or the inspector was unable to verify that it was via a label. This is a potential safety hazard. House to garage doors, to prevent fire and fumes from spreading from the garage into interior living space, should be constructed of fire-resistant materials. Doors, generally considered to be suitable for the purpose, are solid core wood, steel, honeycomb steel or a door that has been factory labeled as fire rated. Recommend that a qualified contractor replace or repair the door and, at that time, make any other corrections that might be required to provide suitable fire resistance between the garage and the dwelling per standard building practices. For more information, visit:

<http://www.reporthost.com/?AGFR>

Electric

Limitations: The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low-voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per various standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The functionality of, power source for and placement of smoke and carbon monoxide alarms is not determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide alarms should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall electrical service size, but such estimates are not guaranteed because the overall capacity may be diminished by lesser-rated components in the system. Any repairs

recommended should be made by a licensed electrician.

Electric service condition:

Primary service type: Underground

Service voltage (volts): 120-240

Estimated service amperage: 100

Primary service overload protection type: Circuit breakers

Service entrance conductor material: Stranded copper

System ground: Ground rod(s) in soil

Condition of main service panel: Appeared serviceable

Location of main service panel #A: Garage

Location of main disconnect: Breaker at top of main service panel




- 22)  One or more receptacles were broken or damaged. This is a potential shock or fire hazard. Recommend that a qualified electrician replace such receptacles as necessary.



Photo 22-1
Cover Needed

- 23)  One or more smoke alarms were missing, damaged, or missing components. Smoke alarms should be replaced as necessary. For more information, visit:
<http://www.reporthost.com/?SMKALRM>

- 24)  No permanently installed carbon monoxide alarms were found. This is a potential safety hazard. Some states and/or municipalities require CO alarms to be installed for new construction and/or for homes being sold. Recommend installing approved CO alarms outside of each separate sleeping area in the immediate vicinity of the bedrooms on each level and in accordance with the manufacturer's recommendations. For more information, visit:
<http://www.reporthost.com/?COALRM>




- 25)  For home buyers, batteries in all the smoke alarms should be replaced after taking occupancy. Batteries should be replaced annually in the future. "Chirping" noises emitted from smoke alarms typically indicate that batteries need replacing. For more information, visit:
<http://www.reporthost.com/?SMKALRM>



Photo 25-1

26)   The functionality of, power source for and placement of smoke alarms is not determined as part of this inspection. Smoke alarms should be installed in each bedroom, in hallways leading to bedrooms, on each level and in attached garages. They have a limited lifespan and should be replaced every 10 years. For home buyers, batteries in smoke alarms should be changed when taking occupancy. Batteries should be replaced annually in the future. Carbon monoxide alarms should be installed in the vicinity of sleeping areas and on each level. For more information, visit:

<http://www.reporhost.com/?SMKALRM>

<http://www.reporhost.com/?COALRM>

Plumbing / Fuel Systems

Limitations: The following items are not included in this inspection: private/shared wells and related equipment; private sewage disposal systems; hot tubs or spas; main, side and lateral sewer lines; gray water systems; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices. Any comments made regarding these items are as a courtesy only. Note that the inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated. The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks.

Water service: Public

Water pressure (psi):

Supply pipe material: Copper


27)  The water supply pressure was greater than 80 pounds per square inch (PSI). Pressures above 80 PSI may void warranties for some appliances such as water heaters or washing machines. Flexible supply lines to washing machines are likely to burst with higher pressures. 40-80 PSI is considered the normal range for water pressure in a home, and most plumbers recommend 50-60 PSI. Typically, the pressure cannot be regulated at the water meter. Recommend that a qualified plumber evaluate and make modifications to reduce the pressure to below 80 PSI. Installing a pressure reducing valve on the main service pipe is a common solution to this problem. If one exists, then it should be adjusted, repaired or replaced as necessary to maintain lower pressures. Note that installing a pressure reducing valve creates a "closed system," which may require installing an expansion tank at the water heater if one is not already installed.



Photo 27-1



28)  Significant corrosion was found in some water supply pipes or fittings. Leaks can occur as a result. Recommend that a qualified plumber evaluate and replace components as necessary.





Photo 28-1

29)  One or more hose bibs appeared to be inoperable. No water flowed from the bib(s) when turned on. This may be due to a shut-off valve being turned off. Note that the inspector does not operate shut-off valves. Recommend consulting with the property owner about inoperable hose bibs, and if necessary have a qualified plumber make repairs.

**Photo 29-1**

Main front left of front door!

-
- 30)  The inspector did not determine the location of the main water shut-off valve, or verify that a readily accessible shut-off valve in the building exists. Recommend consulting with the property owner to determine if a main shut-off valve exists, locating it yourself, or that a qualified plumber find it if necessary. If no readily accessible main shut-off valve is found in the building, then recommend that a qualified plumber install one so the water supply can be quickly turned off in the event of an emergency, such as when a supply pipe bursts.
-
- 31)  The water supply to some plumbing system appeared to be shut off during the inspection and these were not fully evaluated. They are excluded from the inspection.
-

Water Heater

Limitations: Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

Condition of water heater: Appeared serviceable

Type: Tank

Energy source: Natural gas



Capacity (in gallons): 50

Temperature-pressure relief valve installed: Yes

Location of water heater: Utility room

Hot water temperature tested: Yes

Water temperature (degrees Fahrenheit): 138

-
- 32)   The estimated useful life for most water heaters is 8-12 years. This water heater appeared to be this age and/or its useful lifespan and may need replacing at any time. Recommend budgeting for a replacement in the near future, or considering replacement now before any leaks occur. The client should be aware that significant flooding can occur if the water heater fails. If not replaced now, consider having a qualified person install a catch pan and drain or a water alarm to help prevent damage if water does leak.

Built 08/08/2012



Photo 32-1



Photo 32-2




Photo 32-3

Heating, Ventilation and Air Condition (HVAC)

Limitations: The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain lines may clog or leak at any time and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms).

General heating system type(s): Furnace

General heating distribution type(s): Ducts and registers
Last service date of primary heat source: Attic Furnace could not be found
Condition of forced air heating/(cooling) system: Required repair, replacement and/or evaluation (see comments below)
Forced air heating system fuel type: Natural gas
Location of forced air furnace: Attic
Condition of furnace filters: Required repair and/or evaluation (see comments below)
Condition of venting system: Appeared serviceable
Condition of cooling system and/or heat pump: Appeared serviceable
Cooling system and/or heat pump fuel type: Electric
Location of heat pump or air conditioning unit: Building exterior
Condition of controls: Appeared serviceable

33)  The last service date of the forced air heating/cooling system appeared to be more than 1 year ago, or the inspector was unable to determine the last service date. Ask the property owner when it was last serviced. If unable to determine the last service date, or if this system was serviced more than 1 year ago, recommend that a qualified HVAC contractor service this system and make repairs if necessary. Because this system has a compressor and refrigerant system, this servicing should be performed annually in the future. Any needed repairs noted in this report should be brought to the attention of the contractor when it's serviced.

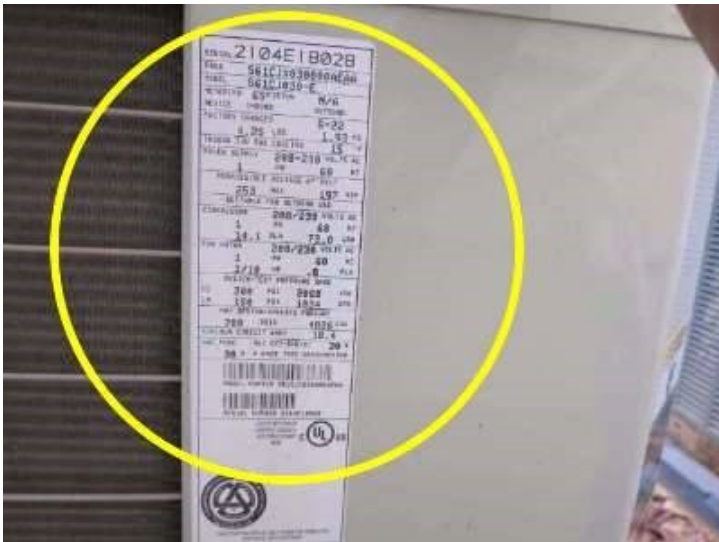


Photo 33-1



Photo 33-2



Photo 33-3

Not level
 needed repairs noted in this report should be brought to the attention of the contractor when it's serviced.



Photo 33-4



Photo 33-5
service switch need repairs !
needed repairs noted in this report should be brought to the attention
of the contractor when it's serviced.



Photo 33-6
A/C 51 °F



Photo 33-7
A/C Return 17 degree different
Appeared serviceable



Photo 33-8
Appeared serviceable



Photo 33-9
Heat



Photo 33-10
Appeared serviceable


34)  Recommend that home buyers replace or clean HVAC filters upon taking occupancy depending on the type of filters installed. Regardless of the type, recommend checking filters monthly in the future and replacing or cleaning them as necessary. How frequently they need replacing or cleaning depends on the type and quality of the filter, how the system is configured (e.g. always on vs. "Auto"), and on environmental factors (e.g. pets, smoking, frequency of house cleaning, number of occupants, the season).



Photo 34-1

35)



Photo 35-1
Paint on breakers!

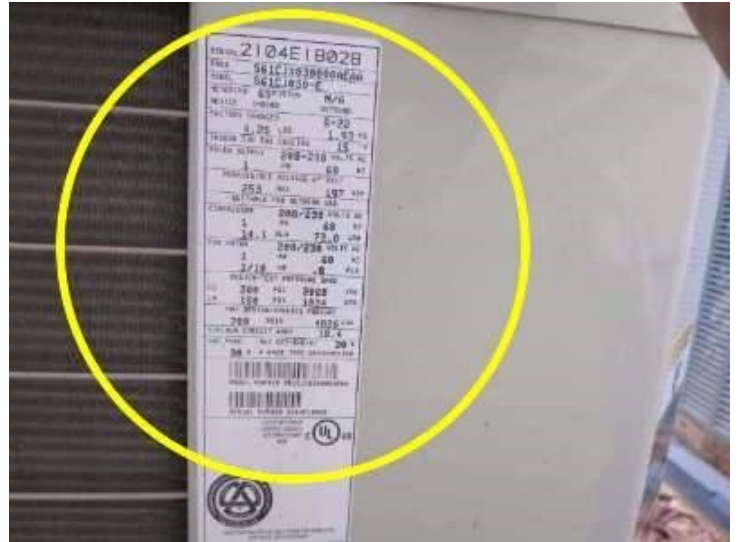


Photo 35-2



Photo 35-3



Photo 35-4
Not level
needed repairs noted in this report should be brought to the attention of the contractor when it's serviced.



Photo 35-5



Photo 35-6





Photo 35-7

LOOSE CONDUCT needed repairs noted in this report should be brought to the attention of the contractor when it's serviced. Recommend that a qualified person repair as necessary

Fireplaces, Stoves, Chimneys and Flues

Limitations: The following items are not included in this inspection: coal stoves, gas logs, chimney flues (except where visible). Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of drafting or sizing in fireplace and stove flues, and also does not determine if prefabricated or zero-clearance fireplaces are installed in accordance with the manufacturer's specifications. The inspector does not perform any evaluations that require a pilot light to be lit, and does not light fires. The inspector provides a basic visual examination of a chimney and any associated wood burning device. The National Fire Protection Association has stated that an in-depth Level 2 chimney inspection should be part of every sale or transfer of property with a wood-burning device. Such an inspection may reveal defects that are not apparent to the home inspector who is a generalist.

Condition of chimneys and flues: Appeared serviceable

36)   Recommend that the client review all available documentation for gas-fired fireplaces and stoves. Depending on how they are operated (for routine heating versus ambiance), such appliances may need servicing annually or every few years. Consult with the property owner and/or a qualified specialist to determine if service is needed now. Any needed repairs noted in this report should be brought to the attention of the specialist when it's serviced. For more information visit:

<http://www.reporthost.com/?ANGFINSP>

37) 🔍 One or more gas fireplaces or stoves did not respond to normal controls (e.g. on/off switch, thermostat, remote control) and were not fully evaluated as a result. The pilot light or gas supply may have been turned off, or some other condition may have prevented operation. The inspector only operates normal controls and does not light pilot lights or operate gas shut-off valves. Consult with the property owner, review all documentation for such gas appliances, and become familiar with the lighting procedure. If necessary, a qualified specialist should assist in lighting such appliances, and make any needed repairs.

Kitchen

Limitations: The following items are not included in this inspection: household appliances such as stoves, ovens, cook tops, ranges, warming ovens, griddles, broilers, dishwashers, trash compactors, refrigerators, freezers, ice makers, hot water dispensers and water filters; appliance timers, clocks, cook functions, self and/or continuous cleaning operations, thermostat or temperature control accuracy, and lights. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of the remaining life of appliances, and does not determine the adequacy of operation of appliances. The inspector does not note appliance manufacturers, models or serial numbers and does not determine if appliances are subject to recalls. Areas and components behind and obscured by appliances are inaccessible and excluded from this inspection.

Condition of counters: Appeared serviceable

Condition of cabinets:

Condition of under-sink food disposal:

Condition of dishwasher: Appeared serviceable

Condition of range, cooktop or oven: Appeared serviceable, Required repair, replacement and/or evaluation (see comments below), Near, at or beyond service life

Range, cooktop or oven type: Natural gas

Condition of refrigerator: Appeared serviceable

Condition of built-in microwave oven: Appeared serviceable

38) 🛠️⚡ Electrical wiring for the under-sink food disposal was substandard. Non-metallic sheathed wiring was exposed and subject to damage. The wiring can be damaged by repeated bending or contact with sharp objects. BX-armored conduit should be installed to protect wiring, or a flexible appliance cable should be installed. This is a potential shock hazard. Recommend that a qualified contractor repair per standard building practices.



Photo 38-1

Recommend that a qualified person repair as necessary

39) 🛠️🔍 The dishwasher was Serviceable

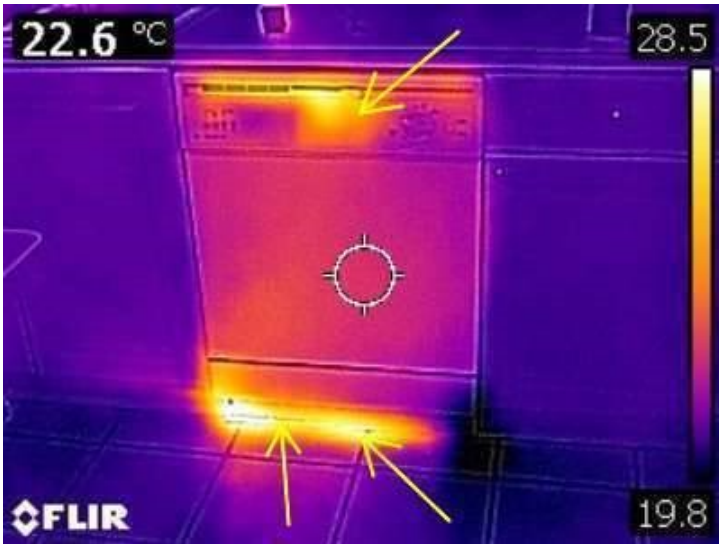


Photo 39-1
Heat distribution
Recommend that a qualified person repair as necessary

Photo 39-2



40)  The microwave oven was Serviceable



Photo 40-1

41)  The under-sink food disposal was inoperable. Recommend that a qualified contractor repair or replace as necessary.


42)  The oven bake function appeared to be inoperable. Consult with the property owner. If necessary, a qualified person should repair.



Photo 42-1

Display not functional
Recommend that a qualified person repair as necessary!

Photo 42-2

43) The refrigerator was Serviceable



Photo 43-1

Clean the coils may be needed
Recommend that a qualified person repair as necessary.

Photo 43-2

44) One or more cabinets were loose, or were secured with too few or substandard fasteners. An adequate number of appropriate fasteners should be used. For wall-hung cabinets, inadequate fasteners can pose a safety hazard if cabinets fall. Recommend that a qualified person repair as necessary.



Photo 44-1



Photo 44-2



Photo 44-3

Recommend that a qualified person repair as necessary


-
- 45)  Stains were found in the shelving or cabinets below the sink. Plumbing leaks may have occurred in the past. Consult with the property owner about this, and if necessary a qualified person evaluate and repair.



Photo 45-1

Bathrooms, Laundry and Sinks

Limitations: The following items are not included in this inspection: overflow drains for tubs and sinks; heated towel racks, saunas, steam generators, clothes washers, clothes dryers. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. The inspector does not operate water supply or shut-off valves for sinks, toilets, bidets, clothes washers, etc. due to the possibility of valves leaking or breaking when operated. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances.

Location #A: Full bath

Location #B: Master bath


46)  Cabinet hardware such as hinges, latches, closers, magnets or pulls at location(s) #A were loose, missing or damaged at one or more cabinet drawers, doors or turntables. Recommend that a qualified person repair as necessary.



Photo 46-1

Missing bar

Recommend that a qualified person repair as necessary


47)  Gaps, no caulk, or substandard caulking were found between the bathtub and the at location(s) #A. Water may penetrate these areas and cause damage. Recommend that a qualified person re-caulk or install caulking as necessary.



Photo 47-1


48)  Stains were found in the shelving or cabinets below the sink at location(s) #B. Plumbing leaks may have occurred in the past. Consult with the property owner about this, and if necessary that a qualified person evaluate and repair.



Photo 48-1



Photo 48-2

Under master bath sink
Recommend that a qualified person repair as necessary



Photo 48-3



Photo 48-4




Master bath no active leak but needs repair!!

Interior, Doors and Windows

Limitations: The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Determining the cause and/or source of odors is not within the scope of this inspection.



Condition of exterior entry doors: Appeared serviceable

Flooring type or covering: Carpet, Vinyl, linoleum or marmoleum

49)    The inspector was unable to verify that the glass used in one or more windows was approved safety glass where required. Window glazing that is not approved safety glass, located in areas subject to human impact, is a safety hazard. Standard building practices generally require that approved safety glass be used in but not limited to the following conditions:

- Windows with a pane larger than 9 square feet, with a bottom edge closer than 18 inches to the floor and a top edge higher than 36 inches above the floor and within 36 inches, horizontally, of a walking surface
- Windows that are both within a 24-inch arc of a door and within 60 inches of the floor
- Glazing in walls enclosing stairway landings or within 5 feet of the bottom and top of stairways, where the bottom edge of the glass is less than 60 inches above the floor

Note that "art glass" (leaded, faceted, carved or decorative) may be an acceptable alternative for safety glass due to its visibility. Also, a 1 1/2-inch-wide protective bar on the accessible side of the glass, placed 34-38 inches above the floor, can serve as an acceptable substitute for safety glass. Recommend that a qualified contractor evaluate further to determine if glazing is approved safety glass, and replace glass if necessary, and per standard building practices.

50)   One or more bedrooms had windows that wouldn't open or were stuck shut. Unless a bedroom has an exterior entry door, at least one window requires adequate egress in the event of a fire or emergency to allow escape or to allow access by emergency personnel. Recommend that a qualified contractor repair or make modifications per standard building practices. For more information, visit:

<http://www.reporthost.com/?EGRESS>



Photo 50-1

51) 🛠️🔪 Carpeting in one or more areas was loose and posed a trip hazard. Recommend that a qualified contractor repair as necessary. For example, by stretching or replacing carpeting.



Photo 51-1

52) 🛠️🔑🔍 One or more windows that were designed to open and close were stuck shut. Recommend that a qualified person repair windows as necessary so they open and close easily.

All windows on 1st and 2nd floor need to be checked



Photo 52-1



Photo 52-2



Photo 52-3
Dead bolt not latching, Window does not open freely



Photo 52-4
Trip hazard
Recommend that a qualified person repair as necessary



Photo 52-5



Photo 52-6



Photo 52-7



Photo 52-8



Photo 52-9


53)  One or more entry doors wouldn't latch when closed. This is a security concern if no deadbolt is installed. A qualified person should repair as necessary.



Photo 53-1
Loose hardware



Photo 53-2
Dead bolt not latching, Window does not open freely


54)  Carpeting in one or more areas was loose. Recommend that a qualified contractor repair as necessary. For example, by stretching or replacing carpeting.



Photo 54-1
Kitchen living-room entryway



Photo X-1



Photo X-2



Photo X-3



Photo X-4



Photo X-5



Photo X-6



Photo X-7



Photo X-8



Photo X-9



Photo X-10



Photo X-11
Door bell is inoperable
Recommend that a qualified person repair as necessary



Photo X-12



Photo X-13



Photo X-14



Photo X-15
Recommend that a qualified person repair as necessary



Photo X-16
Recommend that a qualified person repair as necessary



Photo X-17
Recommend that a qualified person repair as necessary



Photo X-18



Photo X-19

Hot Water temperature (degrees Fahrenheit): 138

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